

Attachment 5 - Development Application Plans



design audible
ARCHITECTURE INTERIOR DESIGN



150717 Proposed Residential Development at 138 Burdekin Road, Schofields



design cubicle

NOMINATED ARCHITECT | SAH MIN-HAN U | #6864

ARCHITECTURALS

Drawing Number	Drawing Title	Drawing Scale (on A)
DA:000	Cover Sheet	
UA:101	Site Analysis 1/3	1:7500
UA:102	Site Analysis 2/3	1:12000
UA:103	Site Analysis 3/3	1:7500
DA:200	Overall Site Plan	1:400
DA:201	Site Plan	1:200
DA:202	Basement 2 Plan	1:200
DA:203	Basement 1 Plan	1:200
DA:204	Ground Floor Plan	1:200
DA:205	1st Floor Plan	1:200
DA:206	2nd-3rd Floor Plan	1:200
DA:207	4th Floor Plan	1:200
DA:208	Roof Plan	1:200
DA:301	Elevations 1/2	1:200
DA:302	Elevations 2/2	1:200
DA:303	Sections 1/3	1:200
DA:304	Sections 2/3	1:200
DA:305	Sections 3/3	1:200
DA:306	Detail Sections	1:100
DA:401	Driveway & Garbage Collection Details	1:100/ 1:200
DA:601	Shadow Diagrams	1:750
DA:701	Communal Open Space & Deep Soil Calculations	1:200
DA:801	3D Height Plane Study	N.T.S

DESIGN FACTS

Site Area 1 (after SP2 dedication)	12946.21 m ²
Site Area 2 (after SP2 dedication & road deduction)	8969.59 m ²
Total Built-up Area	Provided
FSR	17050.92 m ²
Permissible Height	1.75:1 (per Site Area 1)
Site Coverage	16m
Primary Street Setback	4484.79m ² (50% Site Area 2)
Side Setback	6m
Rear Setback	6m
Car Spaces (Residential)	213.5
Car Spaces (Visitor)	42.4
Car Spaces (Total)	255.9
Bicycle spaces	70.7
Private Open Space	min. 10m ² /Unit
Communal Open Space	1345.44m ² (15% Site Area 2)
Total Deep Soil Area	2690.88m ² (30% Site Area 2)
Total Landscape Area	2835.54 m ² (31.6%)
Unit Breakdown	2 x Studio 47 x One Bedroom 160 x Two Bedroom 3 x Three Bedroom
Total Units	212 Residential Units

Major Considerations - Building 1

- Site Area 1 (after SP2 dedication)
- Site Area 2 (after SP2 dedication & road deduction)
- Total Built-up Area
- FSR
- Permissible Height
- Site Coverage
- Primary Street Setback
- Side Setback
- Rear Setback
- Car Spaces (Residential)
- Car Spaces (Visitor)
- Car Spaces (Total)
- Bicycle spaces
- Private Open Space
- Communal Open Space
- Total Deep Soil Area
- Total Landscape Area
- Unit Breakdown
- Total Units

Major Considerations - Building 2

- Site Area 1 (after SP2 dedication)
- Site Area 2 (after SP2 dedication & road deduction)
- Total Built-up Area
- FSR
- Permissible Height
- Site Coverage
- Primary Street Setback
- Side Setback
- Rear Setback
- Car Spaces (Residential)
- Car Spaces (Visitor)
- Car Spaces (Total)
- Bicycle spaces
- Private Open Space
- Communal Open Space
- Total Deep Soil Area
- Total Landscape Area
- Unit Breakdown
- Total Units

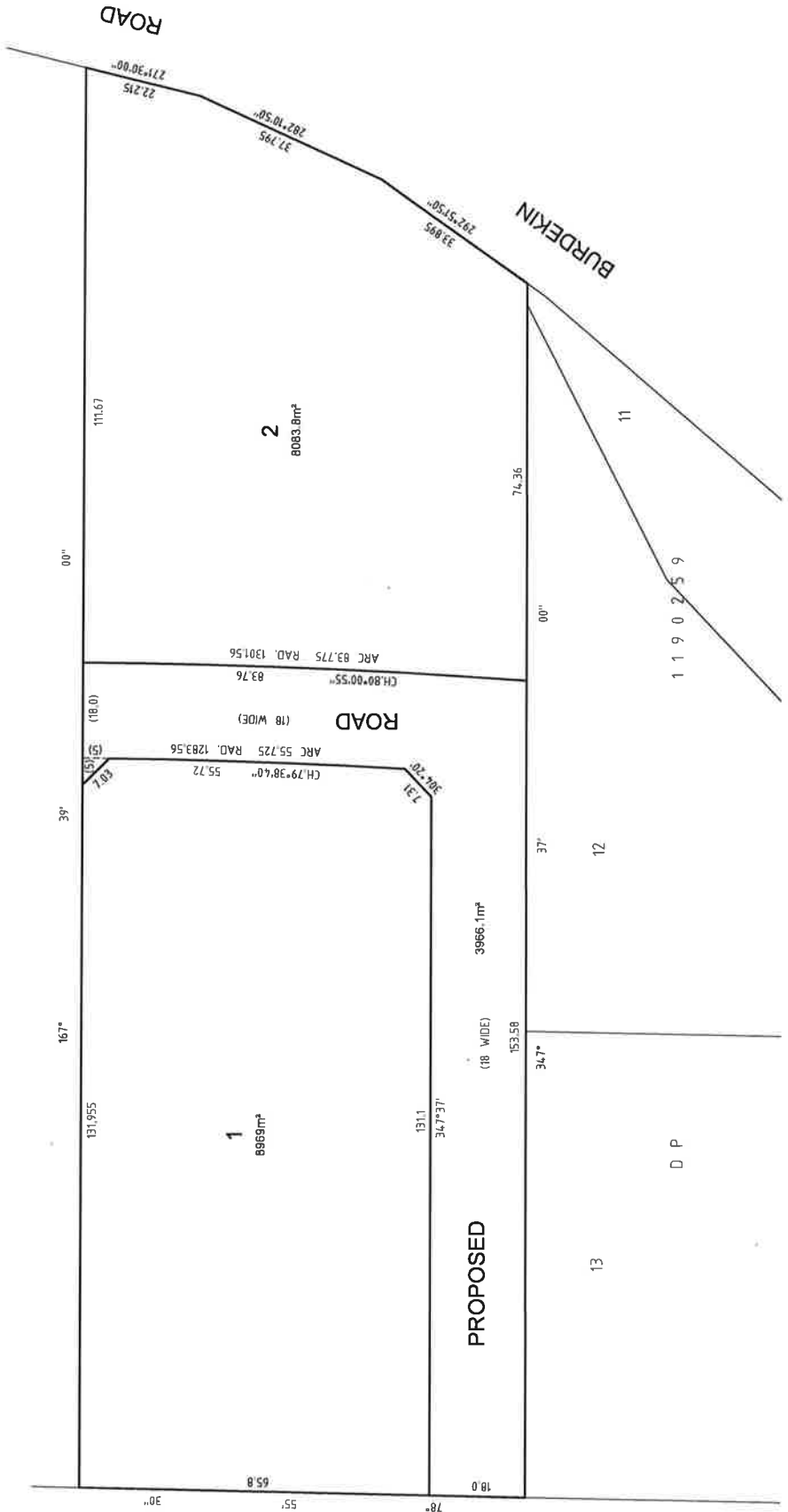
Major Considerations - Building 3

- Site Area 1 (after SP2 dedication)
- Site Area 2 (after SP2 dedication & road deduction)
- Total Built-up Area
- FSR
- Permissible Height
- Site Coverage
- Primary Street Setback
- Side Setback
- Rear Setback
- Car Spaces (Residential)
- Car Spaces (Visitor)
- Car Spaces (Total)
- Bicycle spaces
- Private Open Space
- Communal Open Space
- Total Deep Soil Area
- Total Landscape Area
- Unit Breakdown
- Total Units

THIS IS A DRAFT PLAN ONLY AND IS SUBJECT TO FINAL SURVEY

Plan of Subdivision approved in DA-17-01489.

8
D P 6 5 2 5 5 9



5
D P 6 5 2 6 2 7

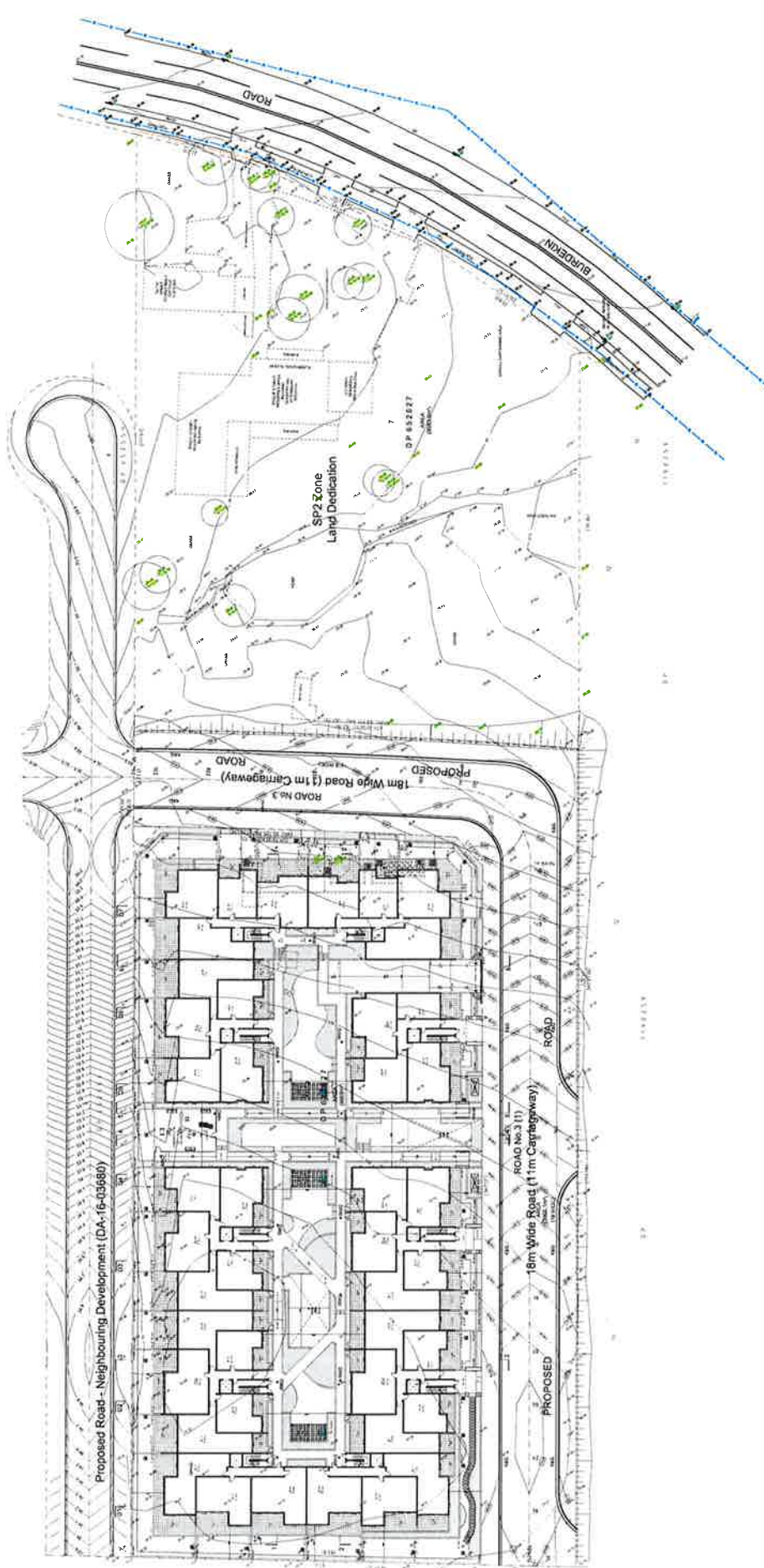
Surveyor: DAMIAN JOSEPH MAGUIRE
 Date of Survey: 27 APRIL, 2017
 Surveyor's Reference: 41623-4448DP

PLAN OF SUBDIVISION OF LOT 7 DP 652627

LGA: BLACKTOWN
 Locality: SCHOFIELDS
 Subdivision No:
 Lengths are in metres. Reduction Ratio 1: ???



DP DRAFT
 ISSUE DATED: 27/04/17



MARK	COMMENTS
1	18m Wide Road (11m Carriageway) ROAD
2	11m Wide Road (11m Carriageway) ROAD
3	Proposed Road (11m Carriageway) ROAD
4	SP3 Zone Land Dedication
5	Building A
6	Building B
7	Building C
8	Building D
9	Building E
10	Building F
11	Building G
12	Building H
13	Building I
14	Building J
15	Building K
16	Building L
17	Building M
18	Building N
19	Building O
20	Building P
21	Building Q
22	Building R
23	Building S
24	Building T
25	Building U
26	Building V
27	Building W
28	Building X
29	Building Y
30	Building Z

Overall Site Plan

Scale 1:400 (on A1)

REVISIONS

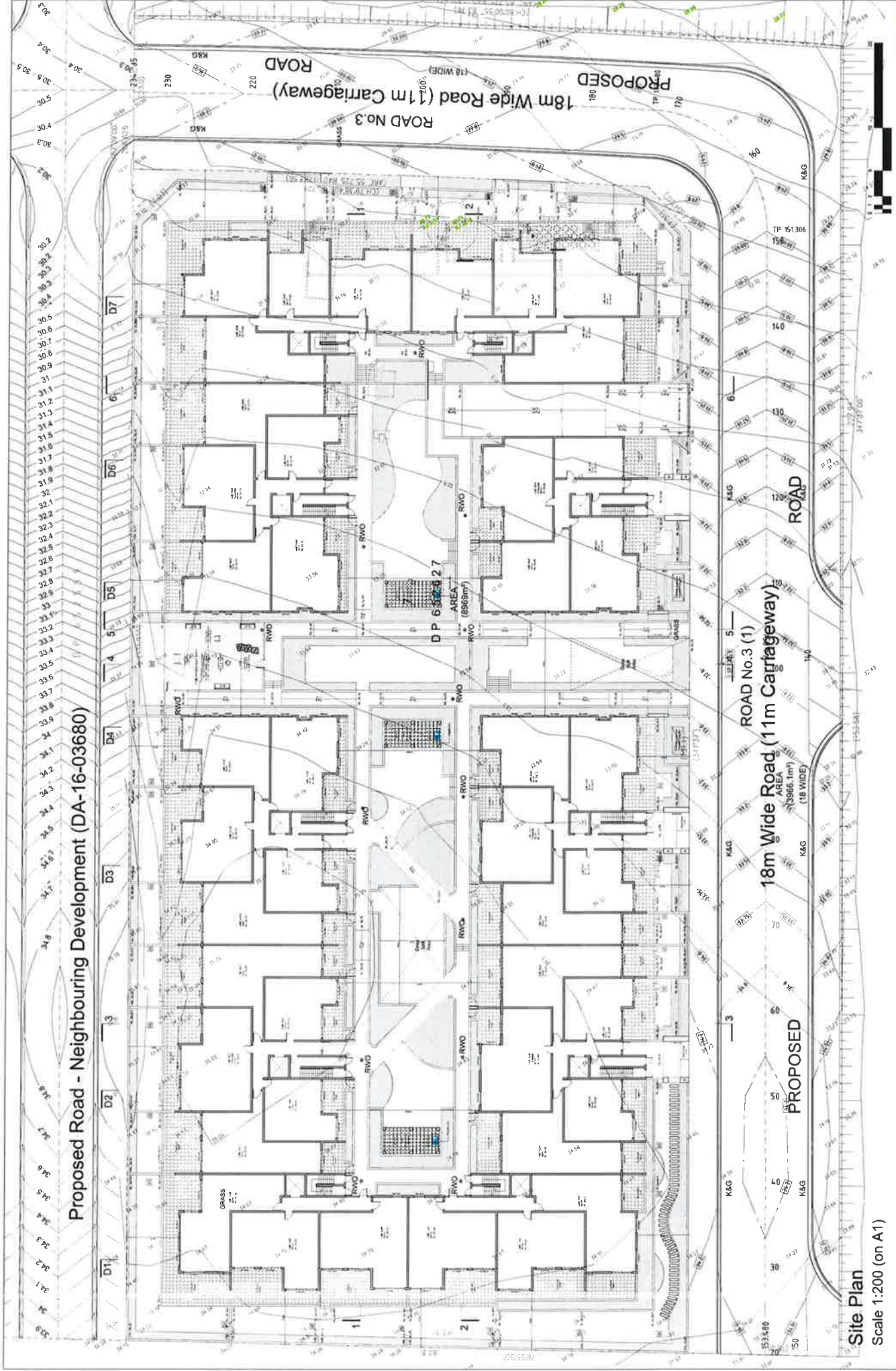
NO.	DATE	DESCRIPTION
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2	15/07/17	ISSUED FOR PERMIT
3	15/07/17	ISSUED FOR PERMIT
4	15/07/17	ISSUED FOR PERMIT
5	15/07/17	ISSUED FOR PERMIT
6	15/07/17	ISSUED FOR PERMIT
7	15/07/17	ISSUED FOR PERMIT
8	15/07/17	ISSUED FOR PERMIT
9	15/07/17	ISSUED FOR PERMIT
10	15/07/17	ISSUED FOR PERMIT

DESIGN CUBICLE

15/07/17 DA:200

PROPOSED RESIDENTIAL DEVELOPMENT AT 158 BURDEKIN ROAD, SCHIFFHUIS

SCALE 1:400 (on A1)



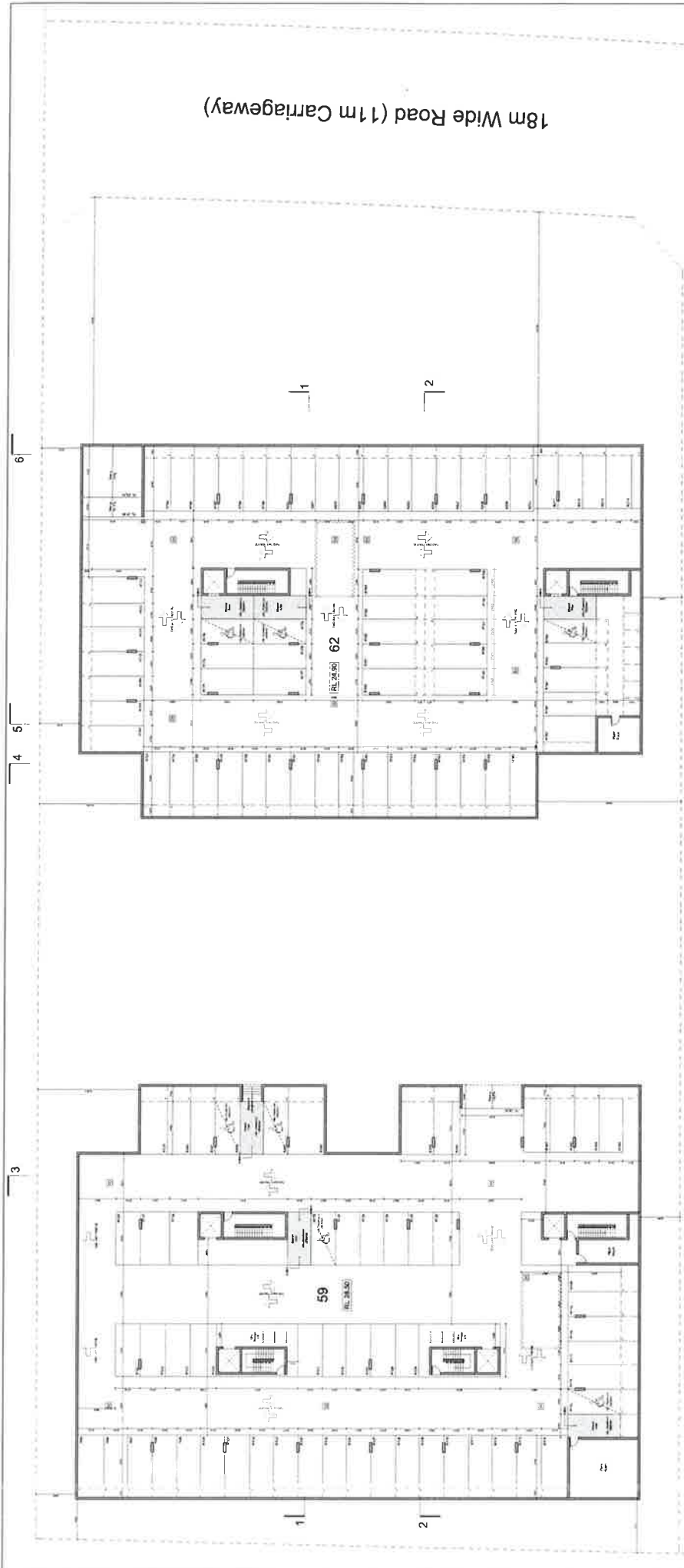
Proposed Road - Neighbouring Development (DA-16-03680)

PROPOSED
18m Wide Road (11m Carriageway)
ROAD No.3

PROPOSED
18m Wide Road (11m Carriageway)
ROAD No.3 (1)

Site Plan
Scale 1:200 (on A1)

<p>DESIGN & DRAWING INFORMATION</p> <p>DATE: 15/07/2011</p> <p>SCALE: 1:200 (on A1)</p>	<p>PROJECT INFORMATION</p> <p>PROJECT NAME: PROPOSED RESIDENTIAL DEVELOPMENT AT 138 BURROUKIN ROAD, SCHIFFS FIELDS</p> <p>CLIENT: [REDACTED]</p> <p>DATE: [REDACTED]</p> <p>SCALE: 1:200 (on A1)</p>	<p>PROJECT LOCATION</p> <p>138 BURROUKIN ROAD, SCHIFFS FIELDS</p>		<p>DESIGN & DRAWING INFORMATION</p> <p>DATE: 15/07/2011</p> <p>SCALE: 1:200 (on A1)</p>
<p>Design Cubicle Pty Ltd 15/07/2011 138 BURROUKIN ROAD, SCHIFFS FIELDS NSW 2151 TEL: 9493 7178 FAX: 9493 3242 WWW.DESIGNCUBICLE.COM.AU AMLN 47 116 213 233</p>				



18m Wide Road (11m Carriageway)

BASE 2 - Building A

1. Laminated glass panels for external walls and roof structure. External walls shall be constructed with 200mm thick concrete blocks with 100mm insulation. Internal walls shall be constructed with 100mm thick concrete blocks with 50mm insulation. All walls shall be finished with plaster and paint.

2. The roof shall be constructed with 100mm thick concrete slabs with 50mm insulation. The roof shall be finished with a waterproofing membrane and a 20mm thick concrete screed. The roof shall be finished with a 20mm thick concrete screed and a 20mm thick concrete finish.

3. The floor shall be constructed with 100mm thick concrete slabs with 50mm insulation. The floor shall be finished with a waterproofing membrane and a 20mm thick concrete screed. The floor shall be finished with a 20mm thick concrete screed and a 20mm thick concrete finish.

4. The walls shall be constructed with 100mm thick concrete blocks with 50mm insulation. The walls shall be finished with plaster and paint.

5. The roof shall be constructed with 100mm thick concrete slabs with 50mm insulation. The roof shall be finished with a waterproofing membrane and a 20mm thick concrete screed. The roof shall be finished with a 20mm thick concrete screed and a 20mm thick concrete finish.

6. The floor shall be constructed with 100mm thick concrete slabs with 50mm insulation. The floor shall be finished with a waterproofing membrane and a 20mm thick concrete screed. The floor shall be finished with a 20mm thick concrete screed and a 20mm thick concrete finish.

BASE 2 - Building B

1. Laminated glass panels for external walls and roof structure. External walls shall be constructed with 200mm thick concrete blocks with 100mm insulation. Internal walls shall be constructed with 100mm thick concrete blocks with 50mm insulation. All walls shall be finished with plaster and paint.

2. The roof shall be constructed with 100mm thick concrete slabs with 50mm insulation. The roof shall be finished with a waterproofing membrane and a 20mm thick concrete screed. The roof shall be finished with a 20mm thick concrete screed and a 20mm thick concrete finish.

3. The floor shall be constructed with 100mm thick concrete slabs with 50mm insulation. The floor shall be finished with a waterproofing membrane and a 20mm thick concrete screed. The floor shall be finished with a 20mm thick concrete screed and a 20mm thick concrete finish.

4. The walls shall be constructed with 100mm thick concrete blocks with 50mm insulation. The walls shall be finished with plaster and paint.

5. The roof shall be constructed with 100mm thick concrete slabs with 50mm insulation. The roof shall be finished with a waterproofing membrane and a 20mm thick concrete screed. The roof shall be finished with a 20mm thick concrete screed and a 20mm thick concrete finish.

6. The floor shall be constructed with 100mm thick concrete slabs with 50mm insulation. The floor shall be finished with a waterproofing membrane and a 20mm thick concrete screed. The floor shall be finished with a 20mm thick concrete screed and a 20mm thick concrete finish.

BASE 2 - Building C

1. Laminated glass panels for external walls and roof structure. External walls shall be constructed with 200mm thick concrete blocks with 100mm insulation. Internal walls shall be constructed with 100mm thick concrete blocks with 50mm insulation. All walls shall be finished with plaster and paint.

2. The roof shall be constructed with 100mm thick concrete slabs with 50mm insulation. The roof shall be finished with a waterproofing membrane and a 20mm thick concrete screed. The roof shall be finished with a 20mm thick concrete screed and a 20mm thick concrete finish.

3. The floor shall be constructed with 100mm thick concrete slabs with 50mm insulation. The floor shall be finished with a waterproofing membrane and a 20mm thick concrete screed. The floor shall be finished with a 20mm thick concrete screed and a 20mm thick concrete finish.

4. The walls shall be constructed with 100mm thick concrete blocks with 50mm insulation. The walls shall be finished with plaster and paint.

5. The roof shall be constructed with 100mm thick concrete slabs with 50mm insulation. The roof shall be finished with a waterproofing membrane and a 20mm thick concrete screed. The roof shall be finished with a 20mm thick concrete screed and a 20mm thick concrete finish.

6. The floor shall be constructed with 100mm thick concrete slabs with 50mm insulation. The floor shall be finished with a waterproofing membrane and a 20mm thick concrete screed. The floor shall be finished with a 20mm thick concrete screed and a 20mm thick concrete finish.

Basement 2 Plan
Scale 1:200 (on A1)

DATE: 15/07/17
DRAWN BY: [Name]
CHECKED BY: [Name]
SCALE: 1:200 (on A1)

PROJECT: PROPOSED RESIDENTIAL DEVELOPMENT AT 138 BURDEKIN ROAD, SCHOFIELD QLD 4070

DESIGNER: design cubicle Pty Ltd
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www.designcubicle.com.au
ABN: 22 136 276 333

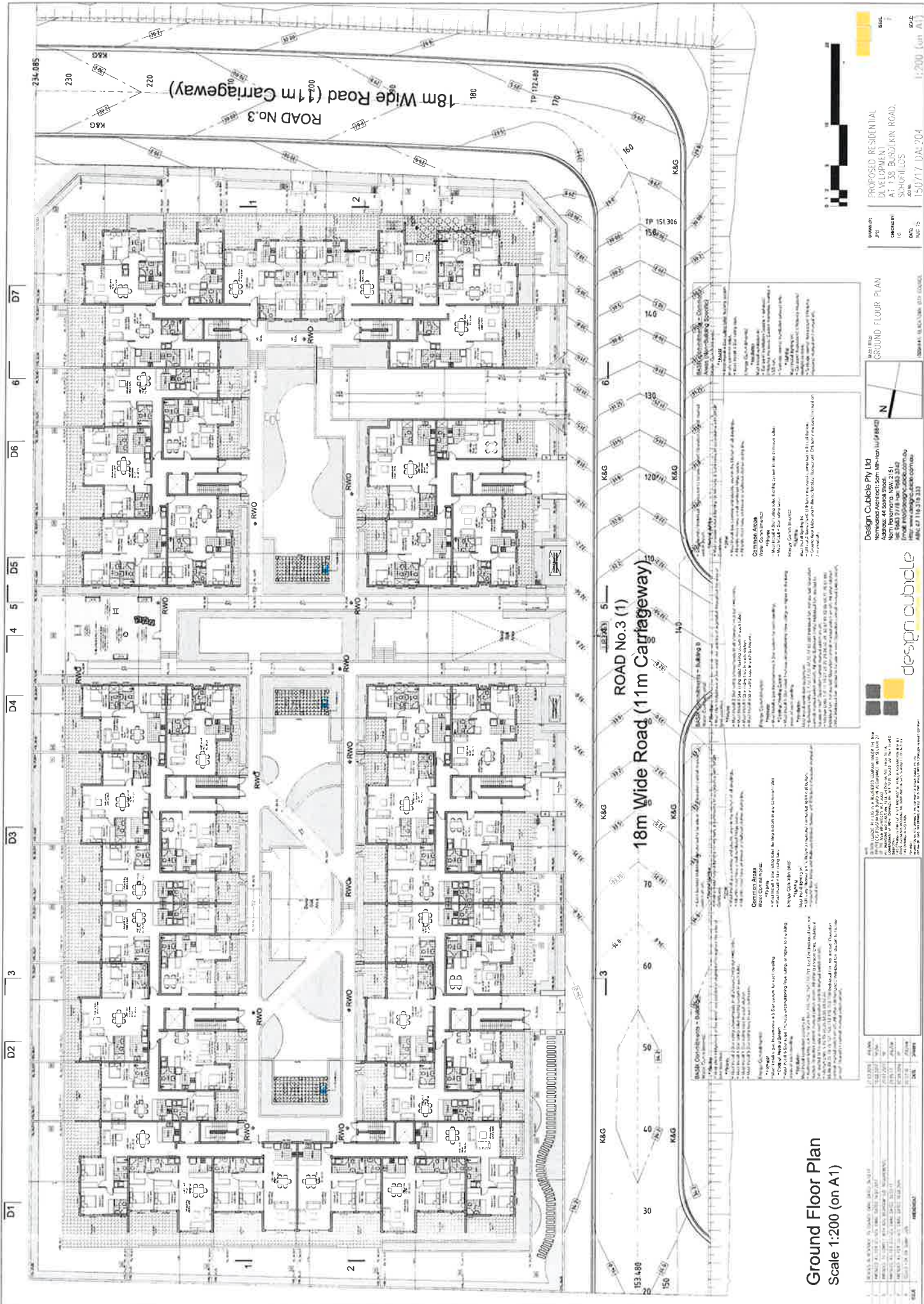
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2	REVISED PERMIT CONDITIONS	15/07/17	[Name]
3	REVISED PERMIT CONDITIONS	15/07/17	[Name]
4	REVISED PERMIT CONDITIONS	15/07/17	[Name]
5	REVISED PERMIT CONDITIONS	15/07/17	[Name]
6	REVISED PERMIT CONDITIONS	15/07/17	[Name]

PROJECT: PROPOSED RESIDENTIAL DEVELOPMENT AT 138 BURDEKIN ROAD, SCHOFIELD QLD 4070



Ground Floor Plan
Scale 1:200 (on A1)

NO.	REVISION	DATE	BY	CHKD.
1	ISSUED FOR PERMIT	15/07/17
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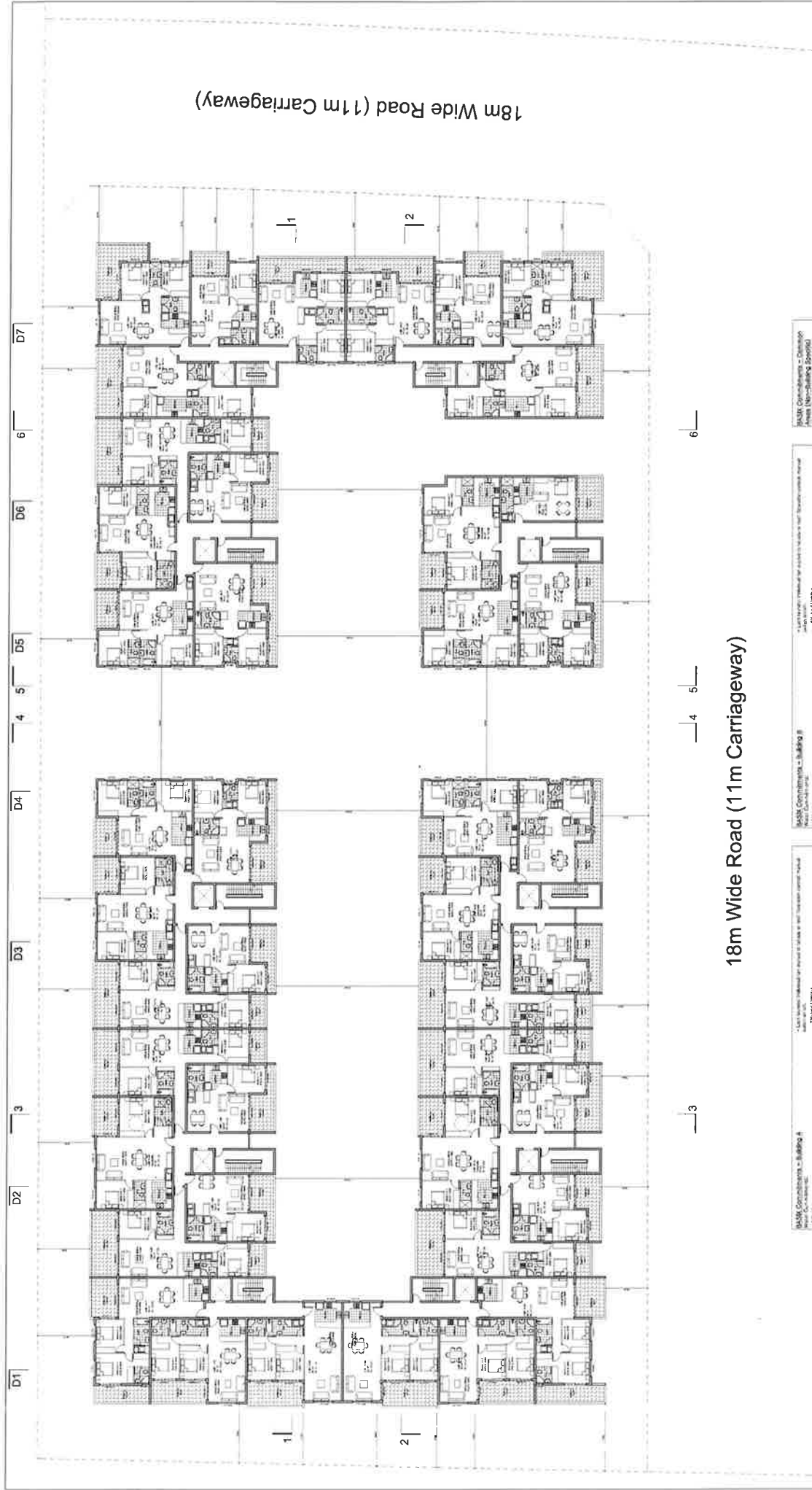


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PROPOSED RESIDENTIAL DEVELOPMENT
 AT 138 BURIALKIN ROAD,
 SHARNCLIFFE
 VIC 3048
 DATE: 15/07/17
 DRAWING NO: DA-204

Scale: 1:200 (on A1)



18m Wide Road (11m Carriageway)

18m Wide Road (11m Carriageway)

BASE Construction - Building 1

Notes: Refer to the site plan for the location of the building. The building is situated on a 18m wide road (11m carriageway). The building is situated on a 18m wide road (11m carriageway). The building is situated on a 18m wide road (11m carriageway).

Common Areas

Notes: Refer to the site plan for the location of the common areas. The common areas are situated on a 18m wide road (11m carriageway). The common areas are situated on a 18m wide road (11m carriageway). The common areas are situated on a 18m wide road (11m carriageway).

BASE Construction - Building 2

Notes: Refer to the site plan for the location of the building. The building is situated on a 18m wide road (11m carriageway). The building is situated on a 18m wide road (11m carriageway). The building is situated on a 18m wide road (11m carriageway).

Common Areas

Notes: Refer to the site plan for the location of the common areas. The common areas are situated on a 18m wide road (11m carriageway). The common areas are situated on a 18m wide road (11m carriageway). The common areas are situated on a 18m wide road (11m carriageway).

BASE Construction - Building 3

Notes: Refer to the site plan for the location of the building. The building is situated on a 18m wide road (11m carriageway). The building is situated on a 18m wide road (11m carriageway). The building is situated on a 18m wide road (11m carriageway).

Common Areas

Notes: Refer to the site plan for the location of the common areas. The common areas are situated on a 18m wide road (11m carriageway). The common areas are situated on a 18m wide road (11m carriageway). The common areas are situated on a 18m wide road (11m carriageway).

1st Floor Plan
Scale 1:200 (on A1)

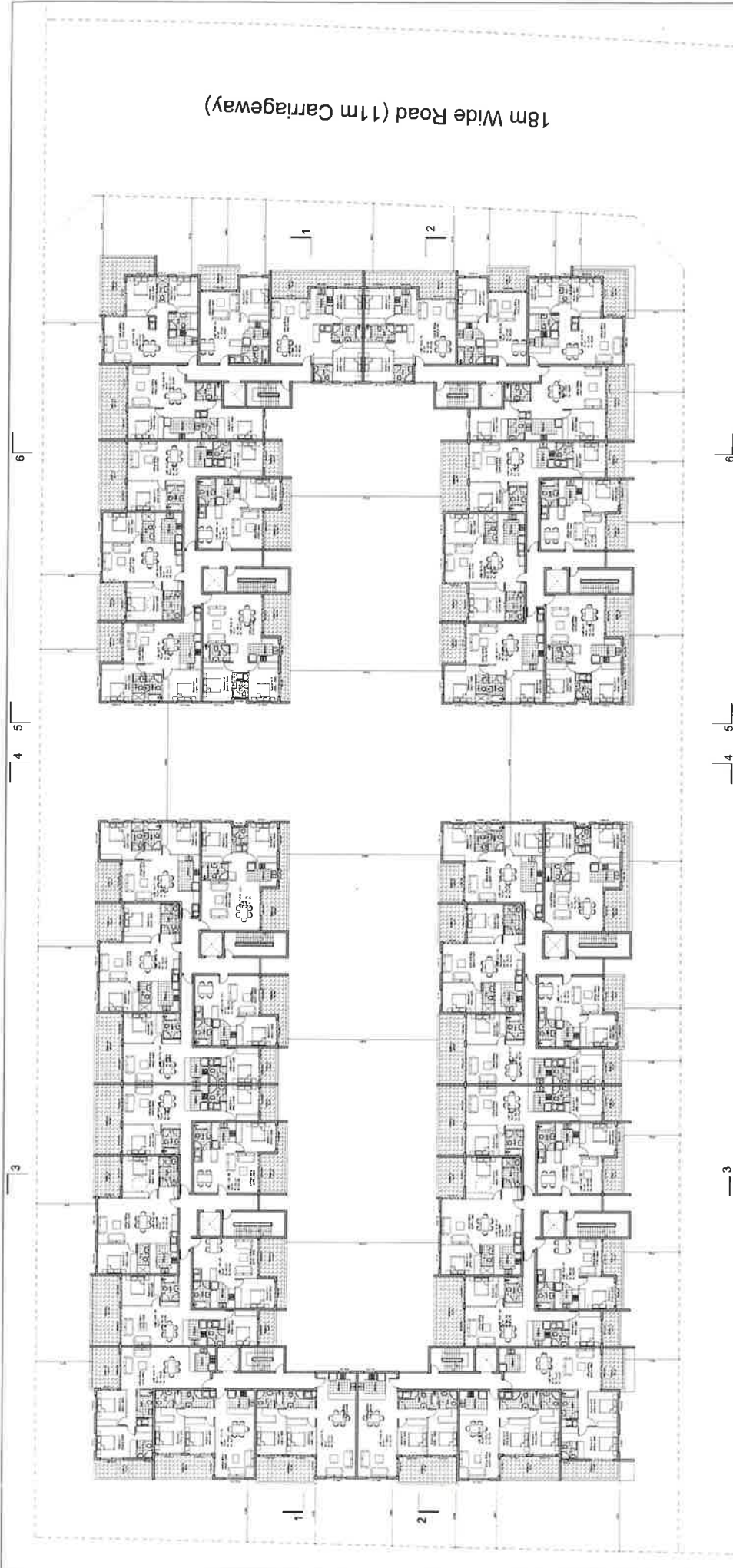
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PROPOSED RESIDENTIAL DEVELOPMENT
AT 138 BURDEKIN ROAD, SCARBOROUGH
DATE: 13/07/17 DA: 205

1ST FLOOR PLAN

Scale 1:200 (on A1)



18m Wide Road (11m Carriageway)

2ND-3RD FLOOR PLAN

18m Wide Road (11m Carriageway)

COMMON AREAS

- All common areas are to be finished to a standard consistent with the residential units.
- All common areas are to be finished to a standard consistent with the residential units.
- All common areas are to be finished to a standard consistent with the residential units.

RESIDENTIAL UNITS

- All residential units are to be finished to a standard consistent with the residential units.
- All residential units are to be finished to a standard consistent with the residential units.
- All residential units are to be finished to a standard consistent with the residential units.

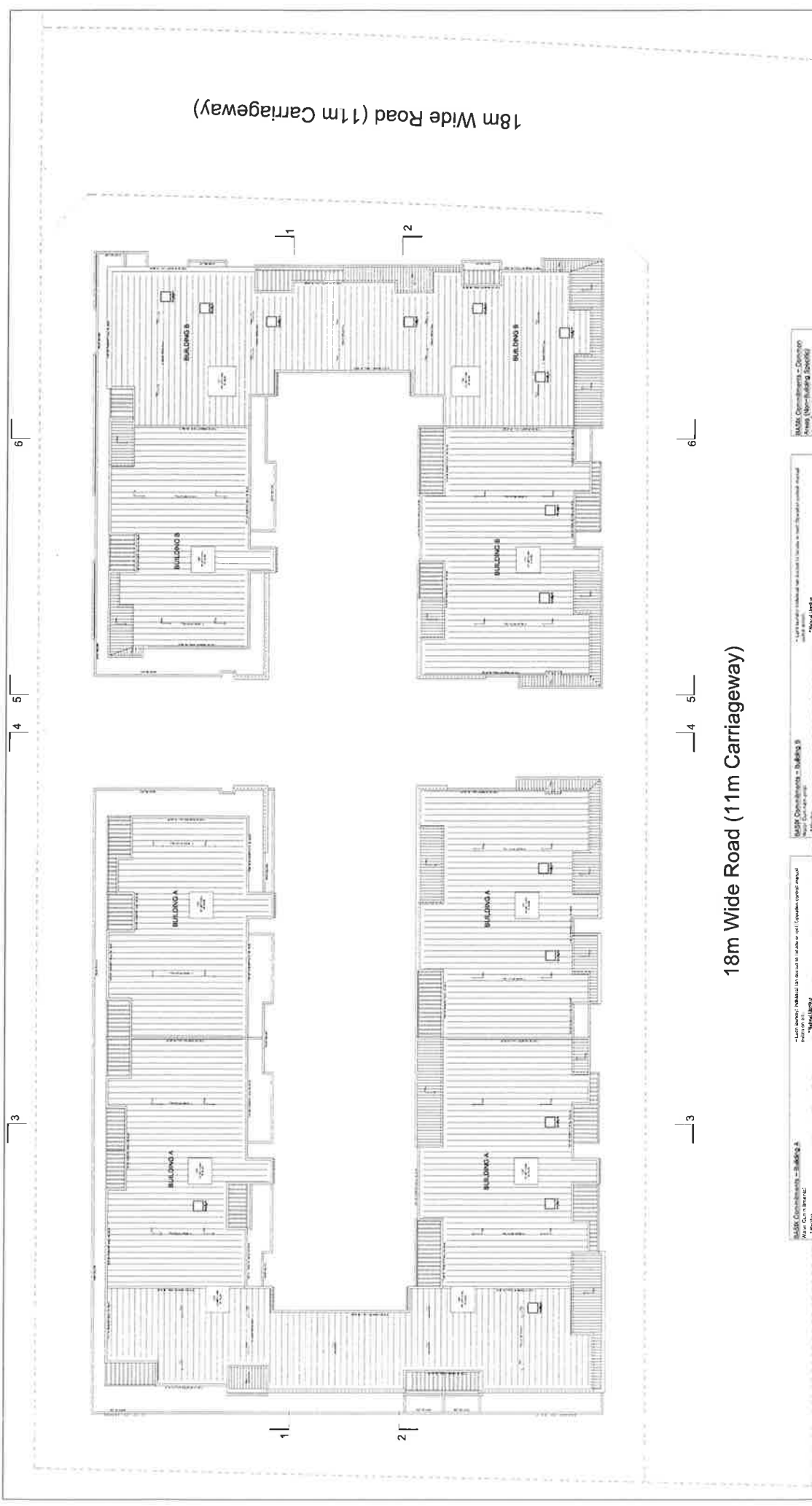
COMMON AREAS

- All common areas are to be finished to a standard consistent with the residential units.
- All common areas are to be finished to a standard consistent with the residential units.
- All common areas are to be finished to a standard consistent with the residential units.

RESIDENTIAL UNITS

- All residential units are to be finished to a standard consistent with the residential units.
- All residential units are to be finished to a standard consistent with the residential units.
- All residential units are to be finished to a standard consistent with the residential units.

2nd-3rd Floor Plan
Scale 1:200 (on A1)



18m Wide Road (11m Carriageway)

BULK Requirements - Building A
 Water Out to Street:
 - Each sanitary fixture shall be connected to a separate vertical stack pipe.
 - All sanitary fixture stacks shall be connected to a common vertical stack pipe.
 - The common vertical stack pipe shall be connected to the street.
 - The common vertical stack pipe shall be connected to the street.
 - The common vertical stack pipe shall be connected to the street.
 - The common vertical stack pipe shall be connected to the street.

BULK Requirements - Building B
 Water Out to Street:
 - Each sanitary fixture shall be connected to a separate vertical stack pipe.
 - All sanitary fixture stacks shall be connected to a common vertical stack pipe.
 - The common vertical stack pipe shall be connected to the street.
 - The common vertical stack pipe shall be connected to the street.
 - The common vertical stack pipe shall be connected to the street.
 - The common vertical stack pipe shall be connected to the street.

BULK Requirements - Common Area
 Water Out to Street:
 - Each sanitary fixture shall be connected to a separate vertical stack pipe.
 - All sanitary fixture stacks shall be connected to a common vertical stack pipe.
 - The common vertical stack pipe shall be connected to the street.
 - The common vertical stack pipe shall be connected to the street.
 - The common vertical stack pipe shall be connected to the street.
 - The common vertical stack pipe shall be connected to the street.

Roof Plan
 Scale 1:200 (on A1)

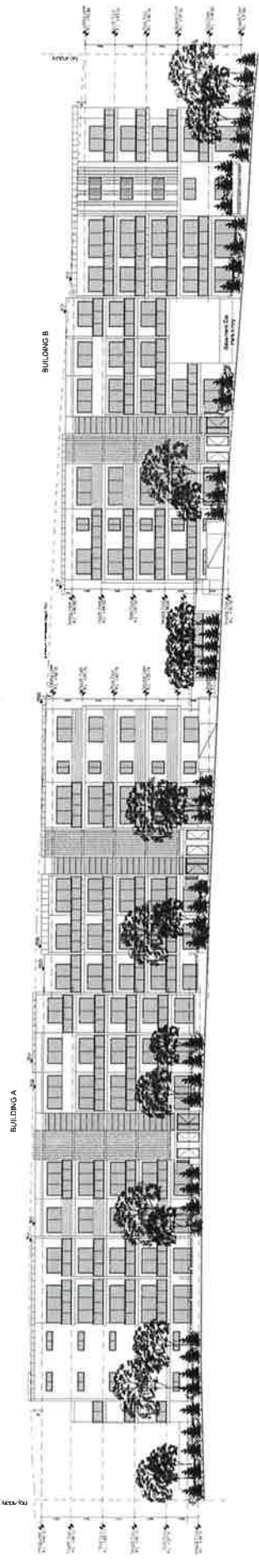
NO.	DATE	DESCRIPTION
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2	15/07/17	ISSUED FOR PERMIT
3	15/07/17	ISSUED FOR PERMIT
4	15/07/17	ISSUED FOR PERMIT
5	15/07/17	ISSUED FOR PERMIT
6	15/07/17	ISSUED FOR PERMIT

Design Cubicle Pty Ltd
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 Website: www.designcubicle.com.au

PROPOSED RESIDENTIAL DEVELOPMENT
 AT 138 BURGLEN ROAD,
 SCHIFFS

150717 DA-208

1:200 (on A1)



West Elevation
Scale 1:200 (on A1)



East Elevation
Scale 1:200 (on A1)

BASIC Commitments - Building A

- All structural steelwork shall be made of S275JR or S275JRH unless otherwise stated.
- All steelwork shall be painted with a minimum of two coats of high quality, zinc-rich primer and a top coat of high quality, zinc-rich paint.
- All steelwork shall be protected from corrosion in accordance with BS 5950-1:2000.
- All steelwork shall be protected from corrosion in accordance with BS 5950-1:2000.

Notes:

- All steelwork shall be painted with a minimum of two coats of high quality, zinc-rich primer and a top coat of high quality, zinc-rich paint.
- All steelwork shall be protected from corrosion in accordance with BS 5950-1:2000.
- All steelwork shall be protected from corrosion in accordance with BS 5950-1:2000.

BASIC Commitments - Building B

- All structural steelwork shall be made of S275JR or S275JRH unless otherwise stated.
- All steelwork shall be painted with a minimum of two coats of high quality, zinc-rich primer and a top coat of high quality, zinc-rich paint.
- All steelwork shall be protected from corrosion in accordance with BS 5950-1:2000.
- All steelwork shall be protected from corrosion in accordance with BS 5950-1:2000.

Notes:

- All steelwork shall be painted with a minimum of two coats of high quality, zinc-rich primer and a top coat of high quality, zinc-rich paint.
- All steelwork shall be protected from corrosion in accordance with BS 5950-1:2000.
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Notes:

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- All steelwork shall be protected from corrosion in accordance with BS 5950-1:2000.
- All steelwork shall be protected from corrosion in accordance with BS 5950-1:2000.

PROPOSED RESIDENTIAL DEVELOPMENT
AT 136 BURROUKIN ROAD,
SCOTTSDALE, ARIZONA
DATE: 15/07/16
SCALE: 1:200 (on A1)

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NO.	REV.	DATE	BY	CHKD	APPD
1	0	15/07/16
2	1	15/07/16
3	2	15/07/16
4	3	15/07/16
5	4	15/07/16
6	5	15/07/16
7	6	15/07/16	...	...	...
8	7	15/07/16	...	...	...
9	8	15/07/16	...	...	...
10	9	15/07/16	...	...	...



North Elevation
Scale 1:200 (on A1)



South Elevation
Scale 1:200 (on A1)

NO.	REVISION	DATE	BY	CHKD.
1	ISSUE FOR PERMIT	15.07.2015	MM	MM
2	REVISION 1	15.08.2015	MM	MM
3	REVISION 2	15.09.2015	MM	MM
4	REVISION 3	15.10.2015	MM	MM
5	REVISION 4	15.11.2015	MM	MM
6	REVISION 5	15.12.2015	MM	MM
7	REVISION 6	16.01.2016	MM	MM
8	REVISION 7	16.02.2016	MM	MM
9	REVISION 8	16.03.2016	MM	MM
10	REVISION 9	16.04.2016	MM	MM
11	REVISION 10	16.05.2016	MM	MM
12	REVISION 11	16.06.2016	MM	MM
13	REVISION 12	16.07.2016	MM	MM
14	REVISION 13	16.08.2016	MM	MM
15	REVISION 14	16.09.2016	MM	MM
16	REVISION 15	16.10.2016	MM	MM
17	REVISION 16	16.11.2016	MM	MM
18	REVISION 17	16.12.2016	MM	MM
19	REVISION 18	17.01.2017	MM	MM
20	REVISION 19	17.02.2017	MM	MM
21	REVISION 20	17.03.2017	MM	MM
22	REVISION 21	17.04.2017	MM	MM
23	REVISION 22	17.05.2017	MM	MM
24	REVISION 23	17.06.2017	MM	MM
25	REVISION 24	17.07.2017	MM	MM
26	REVISION 25	17.08.2017	MM	MM
27	REVISION 26	17.09.2017	MM	MM
28	REVISION 27	17.10.2017	MM	MM
29	REVISION 28	17.11.2017	MM	MM
30	REVISION 29	17.12.2017	MM	MM
31	REVISION 30	18.01.2018	MM	MM
32	REVISION 31	18.02.2018	MM	MM
33	REVISION 32	18.03.2018	MM	MM
34	REVISION 33	18.04.2018	MM	MM
35	REVISION 34	18.05.2018	MM	MM
36	REVISION 35	18.06.2018	MM	MM
37	REVISION 36	18.07.2018	MM	MM
38	REVISION 37	18.08.2018	MM	MM
39	REVISION 38	18.09.2018	MM	MM
40	REVISION 39	18.10.2018	MM	MM
41	REVISION 40	18.11.2018	MM	MM
42	REVISION 41	18.12.2018	MM	MM
43	REVISION 42	19.01.2019	MM	MM
44	REVISION 43	19.02.2019	MM	MM
45	REVISION 44	19.03.2019	MM	MM
46	REVISION 45	19.04.2019	MM	MM
47	REVISION 46	19.05.2019	MM	MM
48	REVISION 47	19.06.2019	MM	MM
49	REVISION 48	19.07.2019	MM	MM
50	REVISION 49	19.08.2019	MM	MM
51	REVISION 50	19.09.2019	MM	MM
52	REVISION 51	19.10.2019	MM	MM
53	REVISION 52	19.11.2019	MM	MM
54	REVISION 53	19.12.2019	MM	MM
55	REVISION 54	20.01.2020	MM	MM
56	REVISION 55	20.02.2020	MM	MM
57	REVISION 56	20.03.2020	MM	MM
58	REVISION 57	20.04.2020	MM	MM
59	REVISION 58	20.05.2020	MM	MM
60	REVISION 59	20.06.2020	MM	MM
61	REVISION 60	20.07.2020	MM	MM
62	REVISION 61	20.08.2020	MM	MM
63	REVISION 62	20.09.2020	MM	MM
64	REVISION 63	20.10.2020	MM	MM
65	REVISION 64	20.11.2020	MM	MM
66	REVISION 65	20.12.2020	MM	MM
67	REVISION 66	21.01.2021	MM	MM
68	REVISION 67	21.02.2021	MM	MM
69	REVISION 68	21.03.2021	MM	MM
70	REVISION 69	21.04.2021	MM	MM
71	REVISION 70	21.05.2021	MM	MM
72	REVISION 71	21.06.2021	MM	MM
73	REVISION 72	21.07.2021	MM	MM
74	REVISION 73	21.08.2021	MM	MM
75	REVISION 74	21.09.2021	MM	MM
76	REVISION 75	21.10.2021	MM	MM
77	REVISION 76	21.11.2021	MM	MM
78	REVISION 77	21.12.2021	MM	MM
79	REVISION 78	22.01.2022	MM	MM
80	REVISION 79	22.02.2022	MM	MM
81	REVISION 80	22.03.2022	MM	MM
82	REVISION 81	22.04.2022	MM	MM
83	REVISION 82	22.05.2022	MM	MM
84	REVISION 83	22.06.2022	MM	MM
85	REVISION 84	22.07.2022	MM	MM
86	REVISION 85	22.08.2022	MM	MM
87	REVISION 86	22.09.2022	MM	MM
88	REVISION 87	22.10.2022	MM	MM
89	REVISION 88	22.11.2022	MM	MM
90	REVISION 89	22.12.2022	MM	MM
91	REVISION 90	23.01.2023	MM	MM
92	REVISION 91	23.02.2023	MM	MM
93	REVISION 92	23.03.2023	MM	MM
94	REVISION 93	23.04.2023	MM	MM
95	REVISION 94	23.05.2023	MM	MM
96	REVISION 95	23.06.2023	MM	MM
97	REVISION 96	23.07.2023	MM	MM
98	REVISION 97	23.08.2023	MM	MM
99	REVISION 98	23.09.2023	MM	MM
100	REVISION 99	23.10.2023	MM	MM
101	REVISION 100	23.11.2023	MM	MM
102	REVISION 101	23.12.2023	MM	MM
103	REVISION 102	24.01.2024	MM	MM
104	REVISION 103	24.02.2024	MM	MM
105	REVISION 104	24.03.2024	MM	MM
106	REVISION 105	24.04.2024	MM	MM
107	REVISION 106	24.05.2024	MM	MM
108	REVISION 107	24.06.2024	MM	MM
109	REVISION 108	24.07.2024	MM	MM
110	REVISION 109	24.08.2024	MM	MM
111	REVISION 110	24.09.2024	MM	MM
112	REVISION 111	24.10.2024	MM	MM
113	REVISION 112	24.11.2024	MM	MM
114	REVISION 113	24.12.2024	MM	MM
115	REVISION 114	25.01.2025	MM	MM
116	REVISION 115	25.02.2025	MM	MM
117	REVISION 116	25.03.2025	MM	MM
118	REVISION 117	25.04.2025	MM	MM
119	REVISION 118	25.05.2025	MM	MM
120	REVISION 119	25.06.2025	MM	MM
121	REVISION 120	25.07.2025	MM	MM
122	REVISION 121	25.08.2025	MM	MM
123	REVISION 122	25.09.2025	MM	MM
124	REVISION 123	25.10.2025	MM	MM
125	REVISION 124	25.11.2025	MM	MM
126	REVISION 125	25.12.2025	MM	MM
127	REVISION 126	26.01.2026	MM	MM
128	REVISION 127	26.02.2026	MM	MM
129	REVISION 128	26.03.2026	MM	MM
130	REVISION 129	26.04.2026	MM	MM
131	REVISION 130	26.05.2026	MM	MM
132	REVISION 131	26.06.2026	MM	MM
133	REVISION 132	26.07.2026	MM	MM
134	REVISION 133	26.08.2026	MM	MM
135	REVISION 134	26.09.2026	MM	MM
136	REVISION 135	26.10.2026	MM	MM
137	REVISION 136	26.11.2026	MM	MM
138	REVISION 137	26.12.2026	MM	MM
139	REVISION 138	27.01.2027	MM	MM
140	REVISION 139	27.02.2027	MM	MM
141	REVISION 140	27.03.2027	MM	MM
142	REVISION 141	27.04.2027	MM	MM
143	REVISION 142	27.05.2027	MM	MM
144	REVISION 143	27.06.2027	MM	MM
145	REVISION 144	27.07.2027	MM	MM
146	REVISION 145	27.08.2027	MM	MM
147	REVISION 146	27.09.2027	MM	MM
148	REVISION 147	27.10.2027	MM	MM
149	REVISION 148	27.11.2027	MM	MM
150	REVISION 149	27.12.2027	MM	MM

BASIC Commitments - Building A

Refer to the following table for the list of all the basic commitments required for the building.

Table 1: Basic Commitments - Building A

Item	Commitment	Value
1	Minimum floor area	1000 m ²
2	Minimum floor height	2.5 m
3	Minimum floor depth	3.0 m
4	Minimum floor width	3.0 m
5	Minimum floor length	3.0 m
6	Minimum floor area ratio	0.2
7	Minimum floor height ratio	0.2
8	Minimum floor depth ratio	0.2
9	Minimum floor width ratio	0.2
10	Minimum floor length ratio	0.2

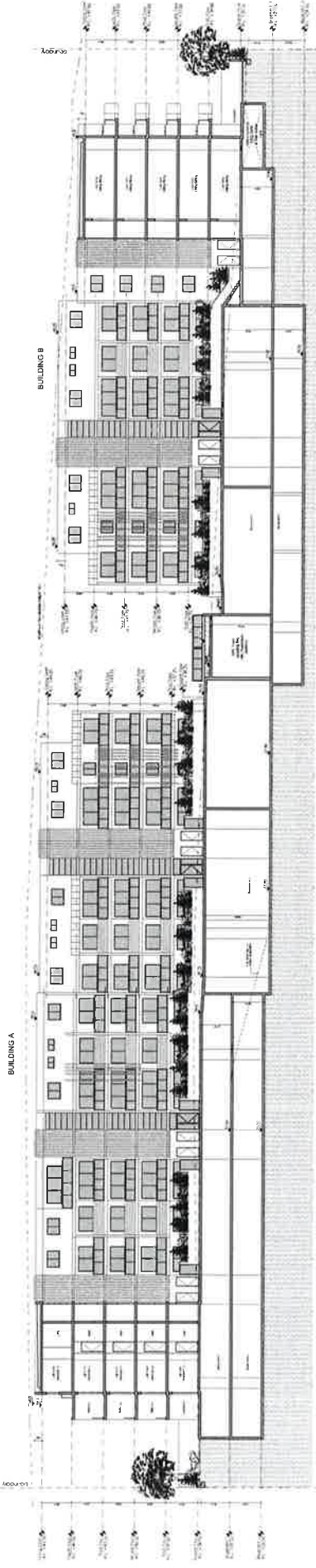
BASIC Commitments - Building B

Refer to the following table for the list of all the basic commitments required for the building.

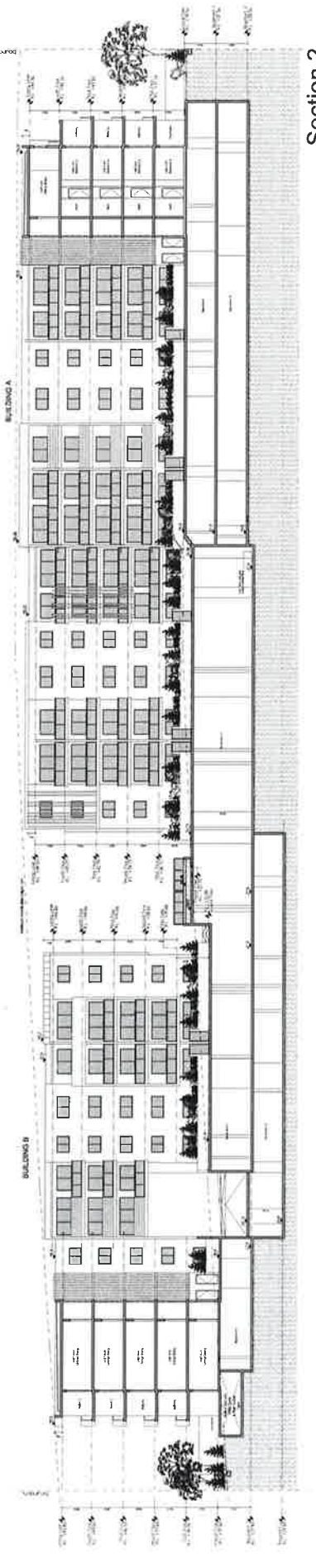
Table 2: Basic Commitments - Building B

Item	Commitment	Value
1	Minimum floor area	1000 m ²
2	Minimum floor height	2.5 m
3	Minimum floor depth	3.0 m
4	Minimum floor width	3.0 m
5	Minimum floor length	3.0 m
6	Minimum floor area ratio	0.2
7	Minimum floor height ratio	0.2
8	Minimum floor depth ratio	0.2
9	Minimum floor width ratio	0.2
10	Minimum floor length ratio	0.2

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 EMAIL: info@designcubicle.com.au
 WWW: www.designcubicle.com.au



Section 1
Scale 1:200 (on A1)



Section 2
Scale 1:200 (on A1)

BASE CONSULTANTS - Building A
 Name: [Name] | Address: [Address] | Phone: [Phone] | Email: [Email]

BASE CONSULTANTS - Building B
 Name: [Name] | Address: [Address] | Phone: [Phone] | Email: [Email]

BASE CONSULTANTS - Core/Block
 Name: [Name] | Address: [Address] | Phone: [Phone] | Email: [Email]

BASE CONSULTANTS - Building A
 Name: [Name] | Address: [Address] | Phone: [Phone] | Email: [Email]

BASE CONSULTANTS - Building B
 Name: [Name] | Address: [Address] | Phone: [Phone] | Email: [Email]

BASE CONSULTANTS - Core/Block
 Name: [Name] | Address: [Address] | Phone: [Phone] | Email: [Email]

BASE CONSULTANTS - Core/Block
 Name: [Name] | Address: [Address] | Phone: [Phone] | Email: [Email]

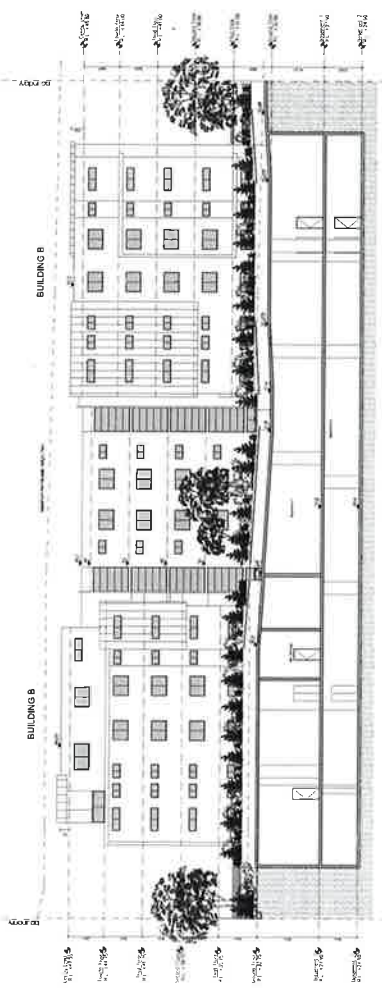
NO.	REVISIONS	DATE	BY	CHKD.
1	ISSUE FOR PERMIT	15.07.2017	[Name]	[Name]
2	ISSUE FOR CONSTRUCTION	15.07.2017	[Name]	[Name]
3	ISSUE FOR OCCUPANCY	15.07.2017	[Name]	[Name]
4	ISSUE FOR AS-BUILT	15.07.2017	[Name]	[Name]
5	ISSUE FOR FINAL	15.07.2017	[Name]	[Name]

design cubicle

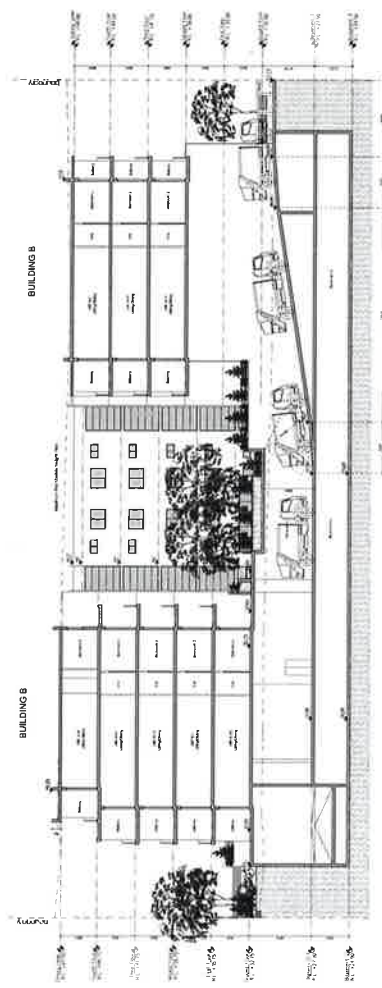
Design Cubicle Pty Ltd
 15/150-152/154-156/158-160/162/164/166/168/170/172/174/176/178/180/182/184/186/188/190/192/194/196/198/200/202/204/206/208/210/212/214/216/218/220/222/224/226/228/230/232/234/236/238/240/242/244/246/248/250/252/254/256/258/260/262/264/266/268/270/272/274/276/278/280/282/284/286/288/290/292/294/296/298/300/302/304/306/308/310/312/314/316/318/320/322/324/326/328/330/332/334/336/338/340/342/344/346/348/350/352/354/356/358/360/362/364/366/368/370/372/374/376/378/380/382/384/386/388/390/392/394/396/398/400/402/404/406/408/410/412/414/416/418/420/422/424/426/428/430/432/434/436/438/440/442/444/446/448/450/452/454/456/458/460/462/464/466/468/470/472/474/476/478/480/482/484/486/488/490/492/494/496/498/500/502/504/506/508/510/512/514/516/518/520/522/524/526/528/530/532/534/536/538/540/542/544/546/548/550/552/554/556/558/560/562/564/566/568/570/572/574/576/578/580/582/584/586/588/590/592/594/596/598/600/602/604/606/608/610/612/614/616/618/620/622/624/626/628/630/632/634/636/638/640/642/644/646/648/650/652/654/656/658/660/662/664/666/668/670/672/674/676/678/680/682/684/686/688/690/692/694/696/698/700/702/704/706/708/710/712/714/716/718/720/722/724/726/728/730/732/734/736/738/740/742/744/746/748/750/752/754/756/758/760/762/764/766/768/770/772/774/776/778/780/782/784/786/788/790/792/794/796/798/800/802/804/806/808/810/812/814/816/818/820/822/824/826/828/830/832/834/836/838/840/842/844/846/848/850/852/854/856/858/860/862/864/866/868/870/872/874/876/878/880/882/884/886/888/890/892/894/896/898/900/902/904/906/908/910/912/914/916/918/920/922/924/926/928/930/932/934/936/938/940/942/944/946/948/950/952/954/956/958/960/962/964/966/968/970/972/974/976/978/980/982/984/986/988/990/992/994/996/998/1000

PROPOSED RESIDENTIAL DEVELOPMENT
 AT 138 BRIDGEMAN ROAD, SCOOTFIELDS
 AREA: 150/717 DVA 303
 SCALE: 1:200 (on A1)

DESIGN CUBICLE
 15/150-152/154-156/158-160/162/164/166/168/170/172/174/176/178/180/182/184/186/188/190/192/194/196/198/200/202/204/206/208/210/212/214/216/218/220/222/224/226/228/230/232/234/236/238/240/242/244/246/248/250/252/254/256/258/260/262/264/266/268/270/272/274/276/278/280/282/284/286/288/290/292/294/296/298/300/302/304/306/308/310/312/314/316/318/320/322/324/326/328/330/332/334/336/338/340/342/344/346/348/350/352/354/356/358/360/362/364/366/368/370/372/374/376/378/380/382/384/386/388/390/392/394/396/398/400/402/404/406/408/410/412/414/416/418/420/422/424/426/428/430/432/434/436/438/440/442/444/446/448/450/452/454/456/458/460/462/464/466/468/470/472/474/476/478/480/482/484/486/488/490/492/494/496/498/500/502/504/506/508/510/512/514/516/518/520/522/524/526/528/530/532/534/536/538/540/542/544/546/548/550/552/554/556/558/560/562/564/566/568/570/572/574/576/578/580/582/584/586/588/590/592/594/596/598/600/602/604/606/608/610/612/614/616/618/620/622/624/626/628/630/632/634/636/638/640/642/644/646/648/650/652/654/656/658/660/662/664/666/668/670/672/674/676/678/680/682/684/686/688/690/692/694/696/698/700/702/704/706/708/710/712/714/716/718/720/722/724/726/728/730/732/734/736/738/740/742/744/746/748/750/752/754/756/758/760/762/764/766/768/770/772/774/776/778/780/782/784/786/788/790/792/794/796/798/800/802/804/806/808/810/812/814/816/818/820/822/824/826/828/830/832/834/836/838/840/842/844/846/848/850/852/854/856/858/860/862/864/866/868/870/872/874/876/878/880/882/884/886/888/890/892/894/896/898/900/902/904/906/908/910/912/914/916/918/920/922/924/926/928/930/932/934/936/938/940/942/944/946/948/950/952/954/956/958/960/962/964/966/968/970/972/974/976/978/980/982/984/986/988/990/992/994/996/998/1000



Section 5
Scale 1:200 (on A1)



Section 6
Scale 1:200 (on A1)

BMSB Commitments - Building A1
 The proposed development is subject to the following conditions:
 - The development shall be completed in accordance with the approved plans.
 - The development shall be completed within the specified time frame.
 - The development shall be completed in accordance with the approved plans.
 - The development shall be completed within the specified time frame.
 - The development shall be completed in accordance with the approved plans.
 - The development shall be completed within the specified time frame.

BMSB Commitments - Common Area (Non-Building Specific)
 The proposed development is subject to the following conditions:
 - The development shall be completed in accordance with the approved plans.
 - The development shall be completed within the specified time frame.
 - The development shall be completed in accordance with the approved plans.
 - The development shall be completed within the specified time frame.

design cubicle

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 Email: info@designcubicle.com.au
 ABN: 47 116 317 333

PROPOSED RESIDENTIAL DEVELOPMENT
 A1 138 BURDEKIN ROAD, SCOTSFIELDS
 DATE: 15/07/2023
 SCALE: 1:200 (on A1)

SECTIONS 5/3



Detail Section 1
Scale 1:100 (on A1)



Detail Section 3
Scale 1:100 (on A1)



Detail Section 5
Scale 1:100 (on A1)



Detail Section 7
Scale 1:100 (on A1)



Detail Section 2
Scale 1:100 (on A1)



Detail Section 4
Scale 1:100 (on A1)



Detail Section 6
Scale 1:100 (on A1)

NO.	REVISION	DATE	BY	CHECKED
1	ISSUED FOR TENDER	15/07/17	DAVID	DAVID



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 1/100-1/101/102/103/104/105/106/107/108/109/110/111/112/113/114/115/116/117/118/119/120/121/122/123/124/125/126/127/128/129/130/131/132/133/134/135/136/137/138/139/140/141/142/143/144/145/146/147/148/149/150/151/152/153/154/155/156/157/158/159/160/161/162/163/164/165/166/167/168/169/170/171/172/173/174/175/176/177/178/179/180/181/182/183/184/185/186/187/188/189/190/191/192/193/194/195/196/197/198/199/200/201/202/203/204/205/206/207/208/209/210/211/212/213/214/215/216/217/218/219/220/221/222/223/224/225/226/227/228/229/230/231/232/233/234/235/236/237/238/239/240/241/242/243/244/245/246/247/248/249/250/251/252/253/254/255/256/257/258/259/260/261/262/263/264/265/266/267/268/269/270/271/272/273/274/275/276/277/278/279/280/281/282/283/284/285/286/287/288/289/290/291/292/293/294/295/296/297/298/299/300/301/302/303/304/305/306/307/308/309/310/311/312/313/314/315/316/317/318/319/320/321/322/323/324/325/326/327/328/329/330/331/332/333/334/335/336/337/338/339/340/341/342/343/344/345/346/347/348/349/350/351/352/353/354/355/356/357/358/359/360/361/362/363/364/365/366/367/368/369/370/371/372/373/374/375/376/377/378/379/380/381/382/383/384/385/386/387/388/389/390/391/392/393/394/395/396/397/398/399/400/401/402/403/404/405/406/407/408/409/410/411/412/413/414/415/416/417/418/419/420/421/422/423/424/425/426/427/428/429/430/431/432/433/434/435/436/437/438/439/440/441/442/443/444/445/446/447/448/449/450/451/452/453/454/455/456/457/458/459/460/461/462/463/464/465/466/467/468/469/470/471/472/473/474/475/476/477/478/479/480/481/482/483/484/485/486/487/488/489/490/491/492/493/494/495/496/497/498/499/500/501/502/503/504/505/506/507/508/509/510/511/512/513/514/515/516/517/518/519/520/521/522/523/524/525/526/527/528/529/530/531/532/533/534/535/536/537/538/539/540/541/542/543/544/545/546/547/548/549/550/551/552/553/554/555/556/557/558/559/560/561/562/563/564/565/566/567/568/569/570/571/572/573/574/575/576/577/578/579/580/581/582/583/584/585/586/587/588/589/590/591/592/593/594/595/596/597/598/599/600/601/602/603/604/605/606/607/608/609/610/611/612/613/614/615/616/617/618/619/620/621/622/623/624/625/626/627/628/629/630/631/632/633/634/635/636/637/638/639/640/641/642/643/644/645/646/647/648/649/650/651/652/653/654/655/656/657/658/659/660/661/662/663/664/665/666/667/668/669/670/671/672/673/674/675/676/677/678/679/680/681/682/683/684/685/686/687/688/689/690/691/692/693/694/695/696/697/698/699/700/701/702/703/704/705/706/707/708/709/710/711/712/713/714/715/716/717/718/719/720/721/722/723/724/725/726/727/728/729/730/731/732/733/734/735/736/737/738/739/740/741/742/743/744/745/746/747/748/749/750/751/752/753/754/755/756/757/758/759/760/761/762/763/764/765/766/767/768/769/770/771/772/773/774/775/776/777/778/779/780/781/782/783/784/785/786/787/788/789/790/791/792/793/794/795/796/797/798/799/800/801/802/803/804/805/806/807/808/809/810/811/812/813/814/815/816/817/818/819/820/821/822/823/824/825/826/827/828/829/830/831/832/833/834/835/836/837/838/839/840/841/842/843/844/845/846/847/848/849/850/851/852/853/854/855/856/857/858/859/860/861/862/863/864/865/866/867/868/869/870/871/872/873/874/875/876/877/878/879/880/881/882/883/884/885/886/887/888/889/890/891/892/893/894/895/896/897/898/899/900/901/902/903/904/905/906/907/908/909/910/911/912/913/914/915/916/917/918/919/920/921/922/923/924/925/926/927/928/929/930/931/932/933/934/935/936/937/938/939/940/941/942/943/944/945/946/947/948/949/950/951/952/953/954/955/956/957/958/959/960/961/962/963/964/965/966/967/968/969/970/971/972/973/974/975/976/977/978/979/980/981/982/983/984/985/986/987/988/989/990/991/992/993/994/995/996/997/998/999/1000

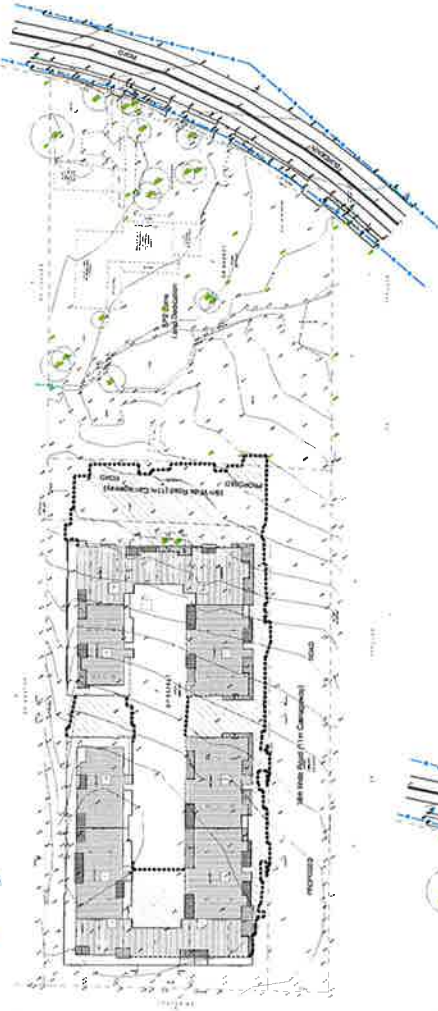
DETAIL SECTIONS

PROPOSED RESIDENTIAL DEVELOPMENT
 1/138 BURDEKIN ROAD, SCHOFIELDS
 DAVID
 15/07/17 DA:306

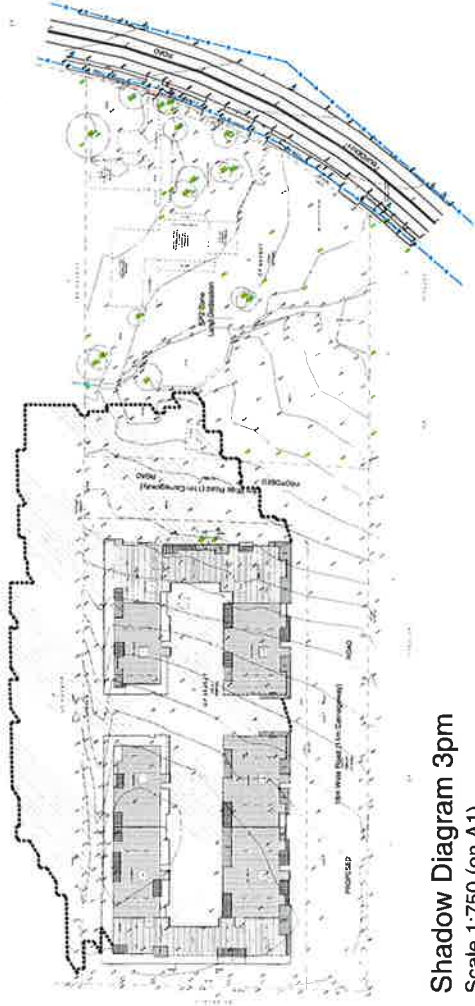




Shadow Diagram 9am
Scale 1:750 (on A1)



Shadow Diagram 12pm
Scale 1:750 (on A1)



Shadow Diagram 3pm
Scale 1:750 (on A1)

<p>PROPOSED RESIDENTIAL DEVELOPMENT AT THE BURGAIN ROAD, SCRIFFIELDS</p> <p>150717 DA-001</p> <p>1:750 (on A1)</p>	<p>DATE: 15/07/2015</p> <p>TIME: 10:00 AM</p> <p>SCALE: 1:750</p> <p>PROJECT: 150717 DA-001</p> <p>CLIENT: [REDACTED]</p> <p>LOCATION: [REDACTED]</p> <p>STATUS: [REDACTED]</p>	<p>Design Cubicle Pty Ltd Registered Architect: Alex Soli (4997) North Parramatta 2151 NSW Tel: 081 2778 Fax: 0883 3242 Email: info@designcubicle.com.au WWW: www.designcubicle.com.au</p>	<p>PROJECT: 150717 DA-001</p> <p>DATE: 15/07/2015</p> <p>TIME: 10:00 AM</p> <p>SCALE: 1:750</p> <p>PROJECT: 150717 DA-001</p> <p>CLIENT: [REDACTED]</p> <p>LOCATION: [REDACTED]</p> <p>STATUS: [REDACTED]</p>
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designcubicle

PROPOSED RESIDENTIAL DEVELOPMENT AT THE BURGAIN ROAD, SCRIFFIELDS

150717 DA-001

1:750 (on A1)



3D View - Common Open Space Building A
150717 - 138 Burdekin Road, Schofields



design cubicle
ARCHITECTURAL SOLUTIONS
PH: 02 9653 2728 FX 02 9653 3542



3D View - Common Open Space Building B
150717 - 138 Burdekin Road, Schofields



design cubicle
487-4011/0184 - 0294711018
ph 02 9663 2776 / f 02 9663 3242



6

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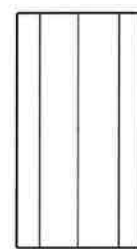
5

7

4



1. Render & Paint Finish - Dulux Half Lexicon colour (or equivalent)



2. Hebel Feature Wall - Dulux White on White colour (or equivalent)



3. Alucobond Cladding Dark Grey Metallic Colour (or equivalent)



4. Hebel Feature Wall (or equivalent)



7. Hebel Feature Wall Dulux Brasso colour (or equivalent)



8. Timber Cladding Stack Panel - Sleek Series Panel (or equivalent)



5. Powder coated Aluminium Window and Door Frames, Pergola & Ballustrade Colorbond Monument colour (or equivalent)

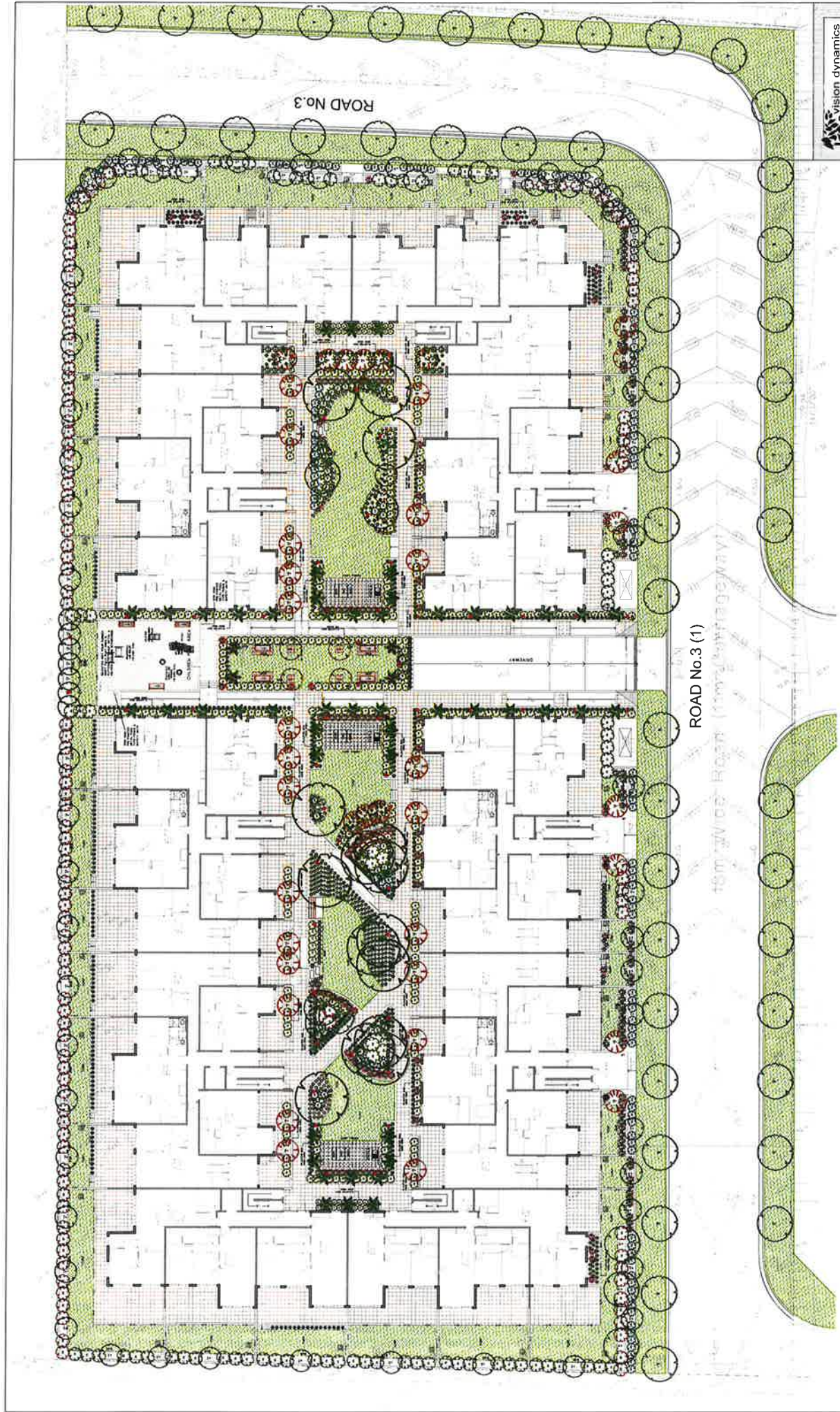


6. Render & Paint Finish - Dulux Ashville colour (or equivalent)



External Materials and Finishes
150717 - 138 Burdekin Road, Schofields

design outside
ARCHITECTURAL SOLUTIONS
ph: 02 9683 2778 | f: 02 9683 3242



vision dynamics
 DRAWING TITLE
 LANDSCAPE CONCEPT
 PLAN
 DRAWN BY
 CHECKED BY
 DATE
 15/03/21 DA 1-2
 B

PROPOSED HOME UNITS
 138 Burdekin Road,
 Schaffelds

NO.	DESCRIPTION	DATE	BY
1	PRELIMINARY DESIGN & CONCEPT	15/03/21	DA
2	LANDSCAPE CONCEPT PLAN	15/03/21	DA
3	CONCEPT PLAN	15/03/21	DA

ARCHITECT
 DESIGN CIRCLE

SCALE 1:1000 METRES

ROAD No.3 (1)

138 Burdekin Road (Proposed)

1:1000 METRES

15/03/21 DA 1-2
 B

